

ANAHITA



BEAU CHAMP

L'Écho des Champs - Phase 2

*Serviced Land*



## **Anahita Beau Champ** *A rural wellness community.*

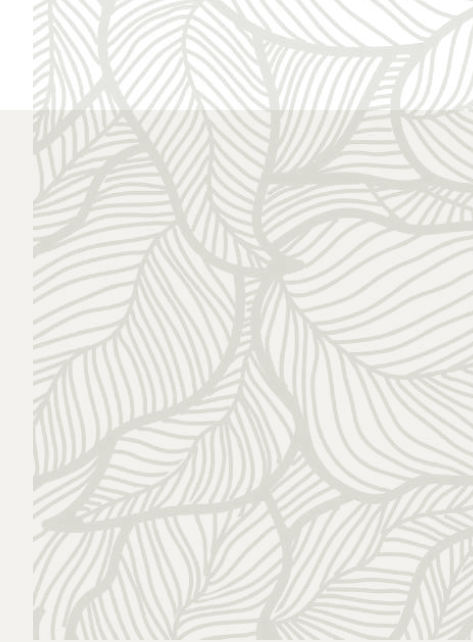
Anahita Beau Champ's 118-hectare development offers you the opportunity to live in the heart of lush natural surroundings, with all the services and shops you need to make your daily life easier.

This quality living environment, synonymous with well-being, is set in an innovative, productive landscape. The residential estate features Mauritian architecture that adds a great deal of character.

# Masterplan

- 1 L'Écho des Champs - Phase 1
- 2 **L'Écho des Champs - Phase 2**
- 3 La Ravine residential neighbourhood
- 4 Clavis International Primary School
- 5 Sports Centre 'RM Club'
- 6 Innovation Park: Commercial lands
- 7 The Factory: Rehabilitation of the sugar factory
- 8 Fangourin: Offices & co-working spaces
- 9 Zeste: Café, grocery shop, pool
- 10 Les Jardins de Beau Champ: Working Farm
- 11 Spring Park
- 12 Palm Alley: Pedestrian and cycling path
- 13 Future residential development
- 14 Mixed-use development
- 15 Future developments
- 16 Sports and leisure facilities
- 17 Beau Champ Village
- 18 Grand River South East Waterfall





## L'Écho des Champs - Phase 2

### *Serviced land*

Invest in a plot, close to all amenities, ranging from 968 to 1,738 m<sup>2</sup> and use your own teams of consultants and contractors to build your dream home in accordance with the specifications, while keeping your costs under control.

The construction period is 10 years for Mauritian citizens and 5 years for foreigners holding a residence permit. After this period, you have the option to resell the property on the international market if you wish.



28 plots from 968 to 1,738 m<sup>2</sup>



Applicable architectural and landscaping guidelines

As from

**MUR 9.1 M**

# L'Écho des Champs - Phase 2

## *Serviced land - Price List*



Plots	Areas (m <sup>2</sup> )	Prices (MUR)	Plots	Areas (m <sup>2</sup> )	Prices (MUR)
D1	1,611	16,680,000	D15	1,057	9,650,000
D2	1,590	15,520,000	D16	1,049	9,350,000
D3	1,738	16,120,000	D17	1,050	9,590,000
D4	1,276	12,790,000	D37	988	10,100,000
D5	1,115	10,260,000	D38	1,230	12,540,000
D6	1,171	10,310,000	D39	985	10,210,000
D7	1,168	10,100,000	D40	1,129	11,510,000
D8	1,050	9,100,000	D41	968	10,100,000
D9	1,102	9,960,000	D42	1,111	11,100,000
D10	1,664	14,140,000	D43	1,156	10,980,000
D11	1,378	12,380,000	D44	1,215	11,680,000
D12	1,260	11,370,000	D45	1,229	12,420,000
D13	1,045	9,350,000	D46	1,236	12,000,000
D14	1,050	9,650,000	D47	1,470	14,560,000

### Notes :

- The price excludes registration fees (5%) and notary's fees.
- This price list is indicative and non-contractual.
- Anahita Beau Champ Limited reserves the right to change any of the contents of this price list without notice or liability.
- Prices valid until 31 December 2024.

# For more information

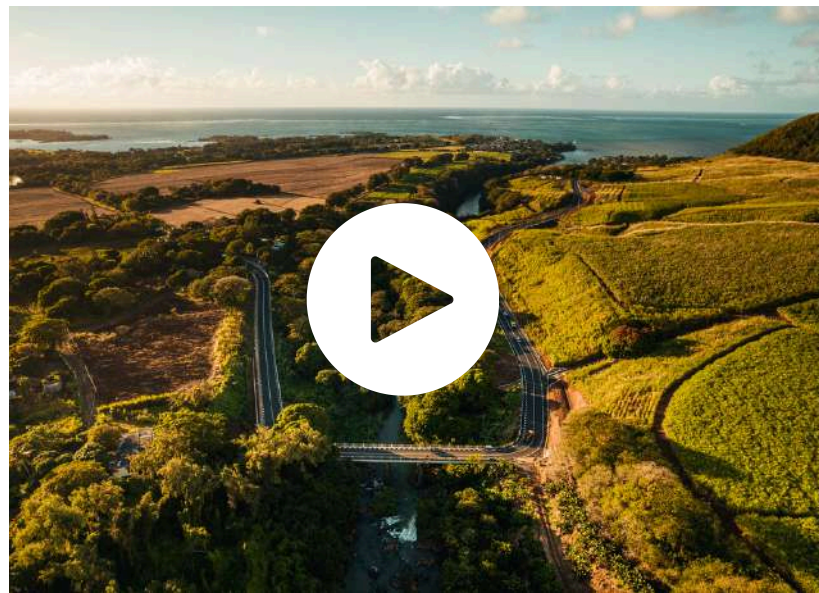
*Useful links*



[General Brochure](#)



[Residential Brochure](#)



[Signature video](#)



[Project video presentation](#)





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2. Artist's conceptual renderings. All photos and illustrations represent the intentions of the Seller/Developer. However, plans and infrastructure may be subject to change.
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4. Prices subject to change without notice or liability.

