

ANAHTA



BEAU CHAMP

Architectural and landscaping guidelines

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DISCLAIMER

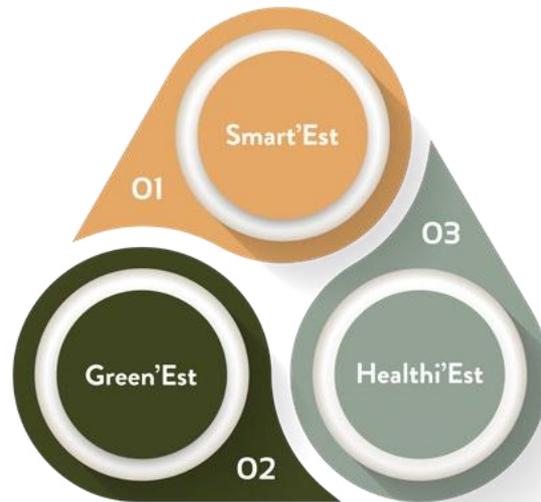
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Introduction

Anahita Beau Champ is conceived as a complete rural community in the East. It is centred on the iconic former Deep River Beau Champ sugar mill estate, covering an area of 118Ha.

Our vision is to create a high value and wellness infused community around productive landscapes, with authentic Mauritian architecture.

This vision is based on 3 pillars:



- SmartEst :

the promotion of high value rural growth, re-energising and diversifying rural living, economies, innovation, and community.

- GreenEst :

a high value settlement growth philosophy that nurtures excellence in environmental care; treading lightly within authentic mature landscapes; re-energising iconic heritage and cultural features; and creating a wholly integrated rural community in the East.

- HealthiEst :

the first “Wellness Community” in the East, proactively planned and designed for the holistic health of people, the environment, and historic and cultural buildings.

These guidelines have been developed to protect and maintain the unique environmental and physical attributes of this site. They apply to parcels A, C and D of Anahita Beau Champ, except for the plots AP1, AP2, AP3 and CP1 which are dedicated to receive apartments and will have their own set of specific guidelines.

1. Plot coverage

1.1. The building footprint of all ground floor constructions must not exceed thirty percent (30%) of the plot area. This footprint will be measured by including all the external covered spaces such as the verandas, covered terraces, covered pergolas (including bioclimatic type pergolas), sheds, garages and kiosks... Any roof overhang of more than 1.5m must be included in the computation of the building footprint.

Note: Swimming pools are not included in the plot coverage calculation.

1.2. Kiosks or verandas must account for 100% of their area, even if they are open.

1.3. The total impermeable area of the plots must not exceed 45% of the area of the plot. This area is calculated by adding all the surfaces of the various buildings, kiosks, open spaces, swimming pools, terraces, and the total of the impermeable surfaces.

Note: A joisted deck is permeable but on a slab of concrete, it becomes impermeable.

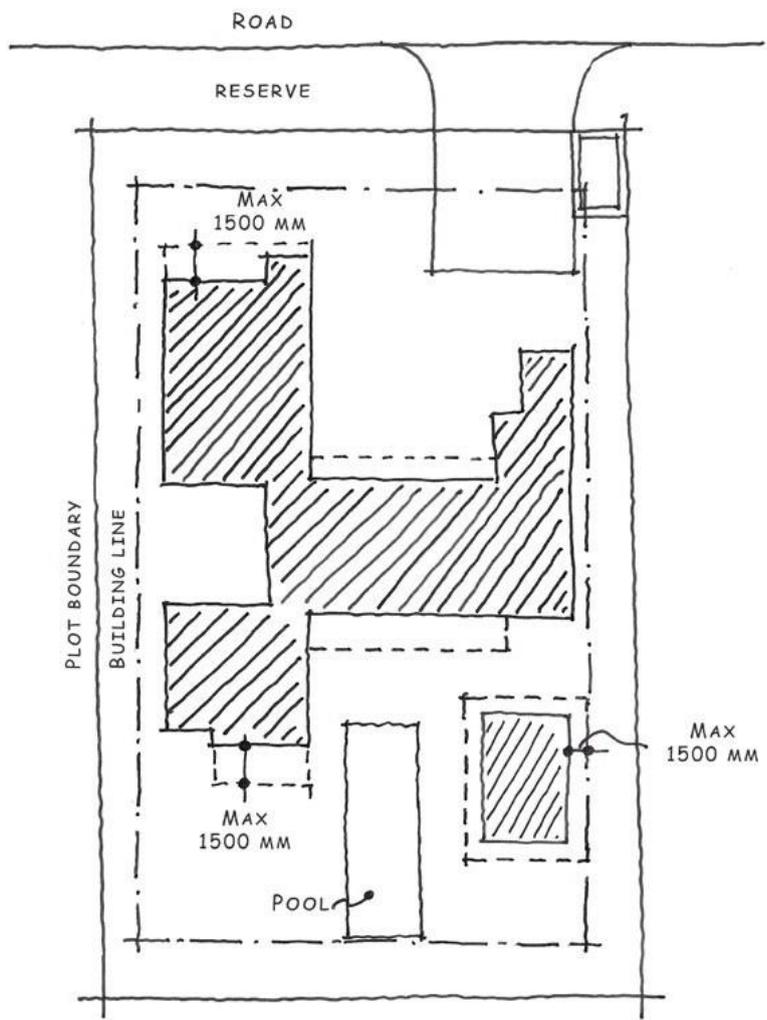
1.4. If two plots are consolidated, the plot coverage shall not exceed twenty-five percent (25%) in case of construction of only one principal residence (including the annex buildings). Additionally, the total impermeable area shall not exceed 35%.

1.5. In the case of the consolidation of more than two plots being authorised, specific restrictions may be applied at the discretion of the Administrator.

1.6. The construction of a basement is authorised. It provides the opportunity for wine cellars, technical rooms etc... without affecting the plot coverage.

1.7. The building footprint of the principal residence on a plot will have to be at least 100 square metres, excluding the outbuildings.

1.8. The swimming pool volume must not exceed 70 cubic metres.



Sketch 1 : Authorised plot coverage less than 30% of the plot area

2. Building lines

The building lines as defined hereunder will also be indicated on the plot plan annexed to the deed of sale. The natural ground level (NGL) must be respected and cannot be modified between the building lines and the plot boundary.

The maximum finished floor level (FFL) of the villa will be indicated on the plot plan and a plan defining the maximum FFLs of the villas will be prepared at completion of the infrastructure works and deposited with the notaries.

General rule (Sketch 2 and Annex A):

2.1. Street side boundary:

The main buildings must be constructed at a minimum distance of 3m from the street side boundary (including any overhang of balconies, awnings, protrusions etc.)

However, the parking spaces (uncovered or covered), bin area enclosure and external sinks can be constructed on the boundaries of the property so long as the authorised standard details are respected. (Annexes E, L and M).

Any other type of garage will have to be constructed with a minimum setback of 3m from the street-side boundary of the property.

2.2. Boundary with the neighbours:

The buildings must be constructed at a minimum distance of 2m from the neighbour's boundary (including any overhang of balconies, awnings, protrusions etc.).

Note: this restriction will not be applicable in the case of two or more plots being consolidated.

2.3. Boundary with the common areas:

All the buildings must be constructed within a minimum distance of 3m from all the common areas (including any overhang of balconies, awnings, protrusions etc).

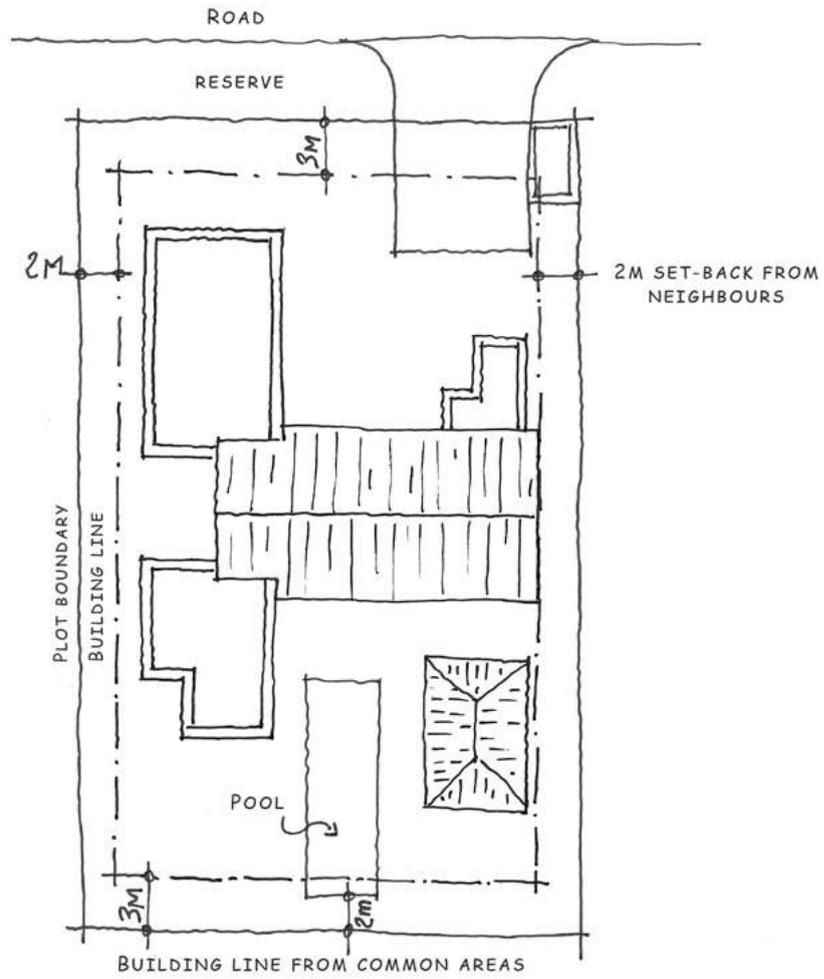
2.4. Swimming pools:

All swimming pools along with their technical installations can be constructed within 2m of the plot boundary.

However, any element of construction (such as the pool pump room, overflow wall, etc) higher than 1.2m from NGL will have to be built within the aforementioned building lines.

2.5. Outbuildings:

Building line setbacks mentioned above are applicable to all outbuildings.



Sketch 2 : Building lines

3. Positioning of the buildings

3.1. Particular attention is to be given to the bioclimatic architectural design of the buildings (orientation, natural ventilation, natural light etc...) to encourage energy saving all while ensuring a much more pleasant living environment.

4. House forms and spacial envelop

4.1. Careful consideration shall be given to the scale, proportion and articulation of building forms, as these, together with their roofs and the openings in their walls are the most important elements in establishing the cohesion and continuity of the architectural character intended for this development.

4.2. Building forms must remain simple and be primarily composed of horizontal and vertical straight lines and 90-degree angles. Exceptional cases: authorised curved roofs on plots A1, A2, A3, A4, A5, A7.

4.3. The buildings shall be an amalgamation of various masses, of simple rectangular shapes, covered by roofs of simple and rectangular shapes, linked together by flat slabs. Exceptional cases: authorised curved roofs on plots A1, A2, A3, A4, A5, A7.

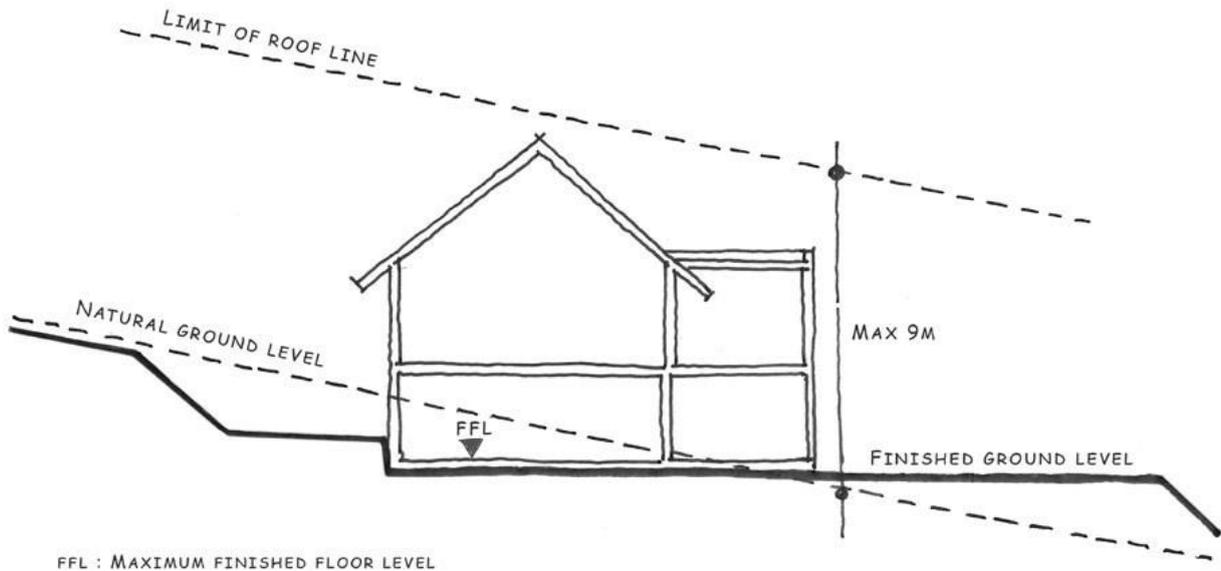
4.4. Number of storeys:

- One additional storey over the main building is permissible and cannot exceed 50% of the footprint of the ground floor.
- Additional storeys are not authorised on outbuildings, garages, gazebos etc...
- Two-storeys buildings are not authorised on plots A1 to A25, A38 to A45, C1, C10, C11, C24, C25, C26 and C27 where the buildings must be single-storeyed.
- A mezzanine is authorised in the volume of the roof of single storey houses only.

5. Maximum height of the buildings

5.1. General rule:

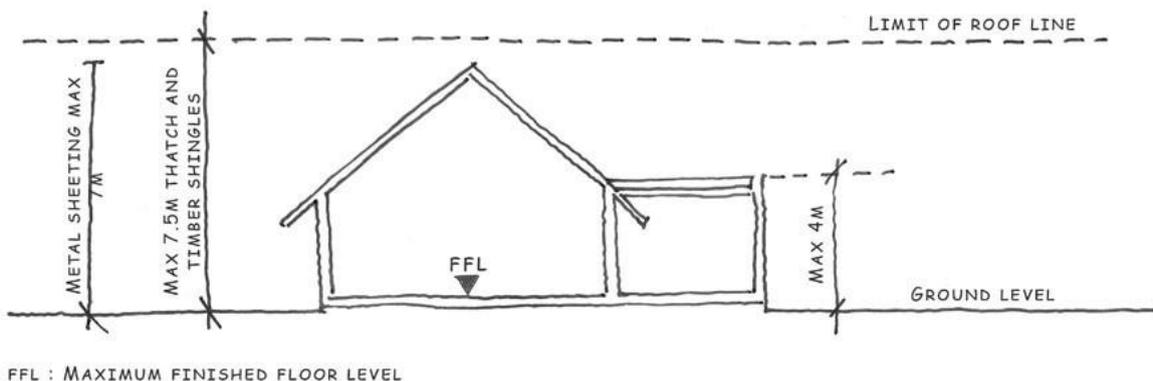
No part of the house structure (highest point of the roof ridge) can exceed 9m above the natural ground level, as indicated on the topographical plan annexed to the deed of sale. (Annexes B and C)



Sketch 3: Maximum height of the buildings from the natural ground level

5.2. Maximum height of the single storey buildings relative to the finished ground level of the garden (Annex B):

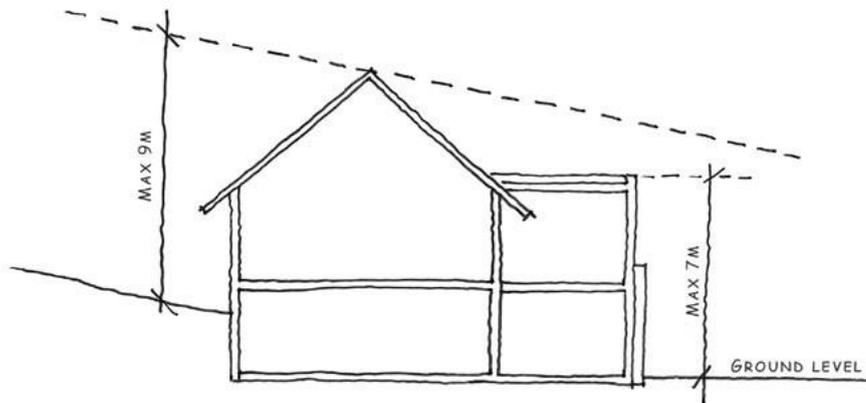
- For thatched roofs, the maximum height is set at 7.5m (not inclusive of the ridge caps).
- For roofs covered with timber shingles, the maximum height is set at 7.5m.
- For roofs covered with metal sheeting, the maximum height is set at 7m.
- For flat concrete slabs, the maximum height of the parapet cannot exceed 4m.



Sketch 4: Maximum height for single storey buildings relative to the finished ground level

5.3. Maximum height for two-storey buildings relative to the finished ground level of the garden (Annex C):

- The cumulative facades with sloping roofs cannot exceed a height of 9m.
- The cumulative facades with flat roof slabs cannot exceed a height of 7m (maximum height of the parapet)

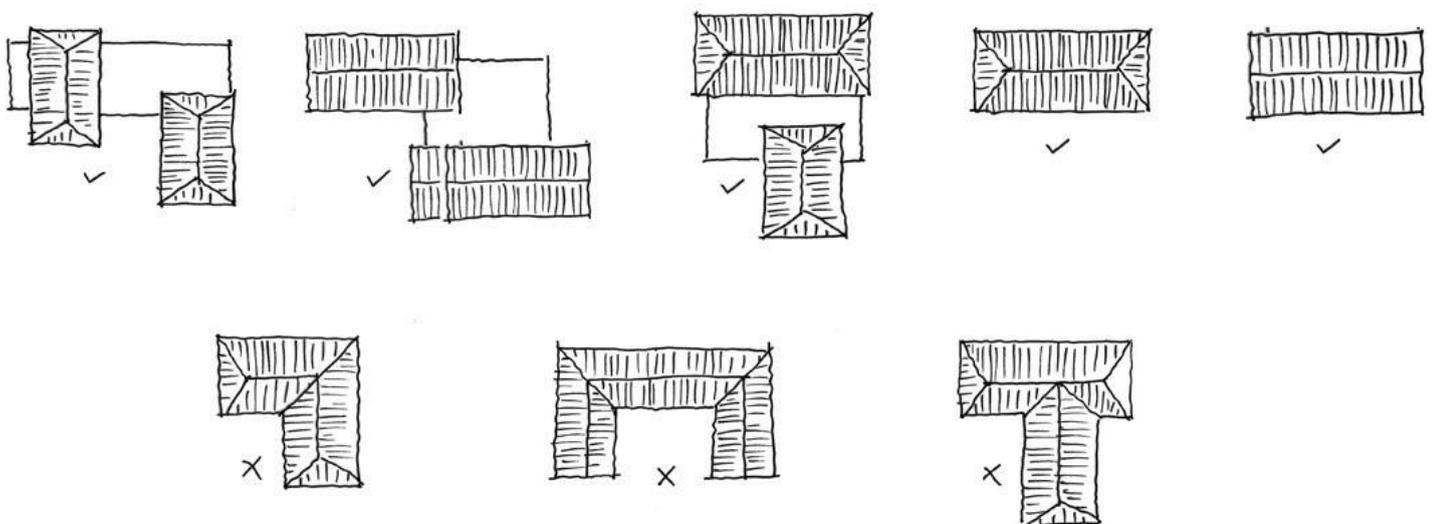


Sketch 5: Maximum height of two-storey buildings relative to the finished ground level

6. Roofing

6.1. Ground rules:

- The roofing plan must be composed of rectangular-shaped roofs, linked together by one or more flat slabs. (Exceptional case: curved roofs authorised on plots A1, A2, A3, A4, A5, A7)



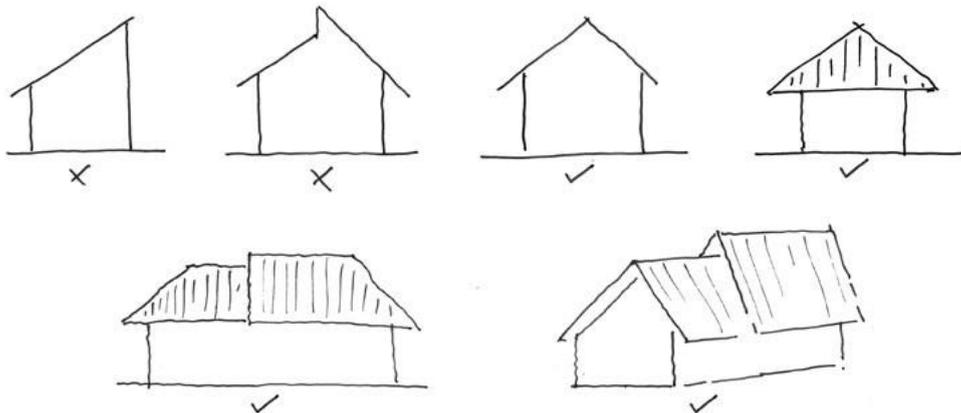
Sketch 6: Composition of authorised and unauthorised roofing

6.2 Types of roofing:

The types of roofing that are authorised shall be of simple geometric form.

- Sloping roofs:

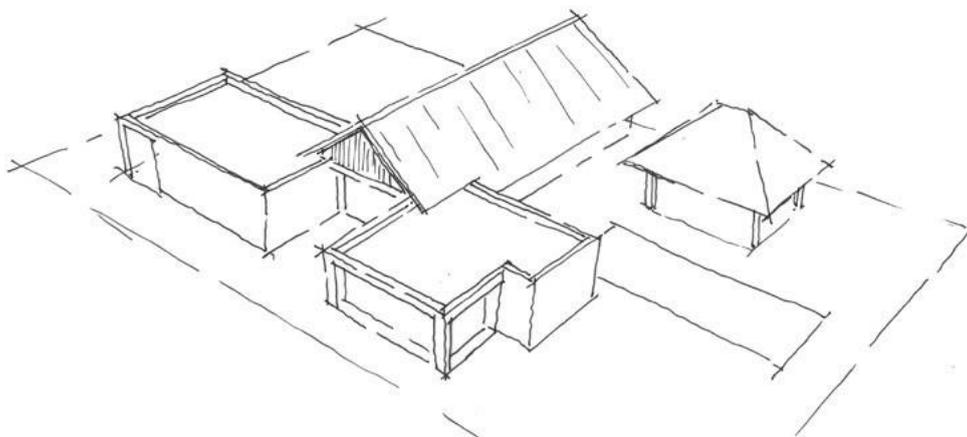
- Single slope roofs are not authorised.
- Two or four-sided slope roofs are authorised.
- Exceptional case: three-sided slope roofs are only authorised in the configuration below:



Sketch 7: Slopes of the roofs

- Flat roofs:

- Flat roofs cannot exceed 50% of the total surface of the roofs (Annex D).
- Ground floor flat roofs will be considered as a fifth facade and shall follow the specifications listed below, at clause 6.5.



Sketch 8: Maximum 50% of the roof can be made of flat slabs



- Roof slopes according to the roofing material chosen:

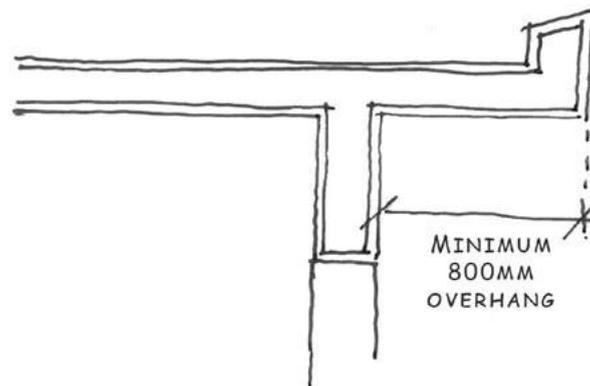
- Thatched roofs: slopes must be between 40° and 45°
- Timber shingles roofs: slopes must be between 40° and 45°
- Metal sheeting roofs: (with 2 or 4 pitches): slopes must be between 30° and 40°
- Roofs with photovoltaic panels, shingles, or equipment: slopes must be between 30° and 45°

Note: Sloping roofs of the same finish must have the same slope.

6.3. Roof overhangs:

- Flat slabs:

Flat slab roof overhang, where applicable, shall be of 800mm minimum.



Sketch 9: Flat slab roof overhang

- Sloping roofs:

- Sloping roof overhangs shall be of 200mm minimum. The overhang on the facades of the gables of the roof shall also be of 200mm minimum.
- Special case: Overhangs of sloping roofs onto a flat slab can be shortened if necessary.

- Reminder: any roof overhang of more than 1.5m will be included in the calculation of the plot coverage.

6.4. Decorative elements:

No decorative element is authorised in the roofing, apart from the ridge caps of thatched roofs.

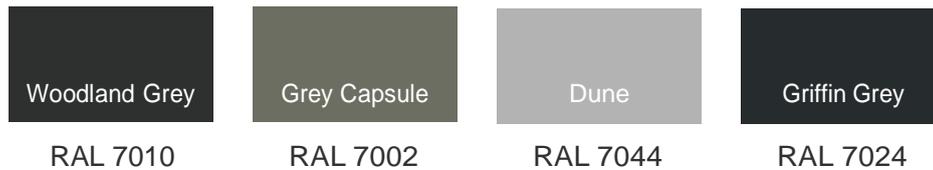


6.5. Authorised roofing materials:

- Sloping roofs:

The only materials authorised are the following:

- Thatch, natural hay.
- Artificial hay (aesthetic aspect submitted to the Administrator for approval).
- Natural timber shingles or unpainted bamboo (submitted to the Administrator for approval).
- Metal sheeting aluminium/ zinc-aluminium pre-painted. Authorised colours are limited to the following RALs:



- Photovoltaic panels, shingles, or equipment subject to the prior approval of the Administrator.

A single and sole colour must be used on the totality of the roofs of the same property, as well as on any added pieces.

Any new roofing material will have to be submitted to the Administrator for approval.

Only fascia boards made of natural wood are authorised.

Fascia boards are mandatory on gables of metal sheeting or shingle roofs.

- Flat slabs:

Flat slabs, as far as possible, should be considered as a fifth facade and be landscaped with one or several of the following elements:

- Green roof
- Synthetic grass
- Pebbles or gravel
- Timber decking
- Slabs on pedestals
- Any other material will have to be approved by the Administrator.

- A combination of roofing materials is not allowed unless in 3 specific cases:

- Kiosks in shingles or in thatch on the ground floor
- Outdoor spaces with horizontal coverings (concrete, metal or timber)
- Tensile membrane structures (subject to the approval of the Administrator)



6.6. Materials and structure/framework of roofing:

- The visible structure elements of the verandas must be in metal (painted black or charcoal grey), in timber or in concrete.
- The kiosks/gazebos can be covered in thatch or natural shingles. The structure must be made of timber, concrete or metal (painted black or charcoal grey or in the same colour as the openings).
- The vertical rainwater downspouts must be adjoined to the facade and painted the same colour as the wall, or integrated into the wall. Rain chains hanging from gutters are authorised.

6.7. Gutters:

- In the case of metal sheeting roofs, gutters will have to be the same colour as the chosen sheet or as the openings.
- In the case of shingle roofs, gutters will have to be in metal or aluminium of the same colour as the openings.
- Gutters are forbidden on thatched roofs and roofs with concrete flat slabs.



7. Awnings, pergolas, chimneys and balustrades

7.1. Awnings:

- Horizontal awnings are authorised over windows and must be in concrete, timber or metal. They cannot exceed 1500mm.
- Inclined awnings must be in the same material as the main sloping roof. They must be attached to the wall and cannot exceed 1500mm.

7.2. Pergolas:

- Pergolas can be in timber and/or metal. The structure (posts or beams) can be in timber, concrete or in metal painted black, anthracite grey or the same colour as openings.
- Bioclimatic pergolas are authorised and will be included in the plot coverage. They must be of the same colour as the openings and their designs must be approved by the Administrator.
- Open pergolas (with more than 1.5m of depth when they are being used as awnings) will be included in the plot coverage computation.

7.3. Chimneys:

The design and finish of the chimney, if introduced in the design, will be submitted to the Administrator for approval during the preliminary submission of the project.

- Chimney integrated in a flat slab: the maximum height of the chimney will be 1.5m (above the slab).
- Chimney integrated in a sloping roof: the maximum height of the chimney will be 600mm above the highest point of the roof.

Note: If however, for operational reasons, the chimney has to be higher, a technical explanation has to be submitted to the Administrator for approval.

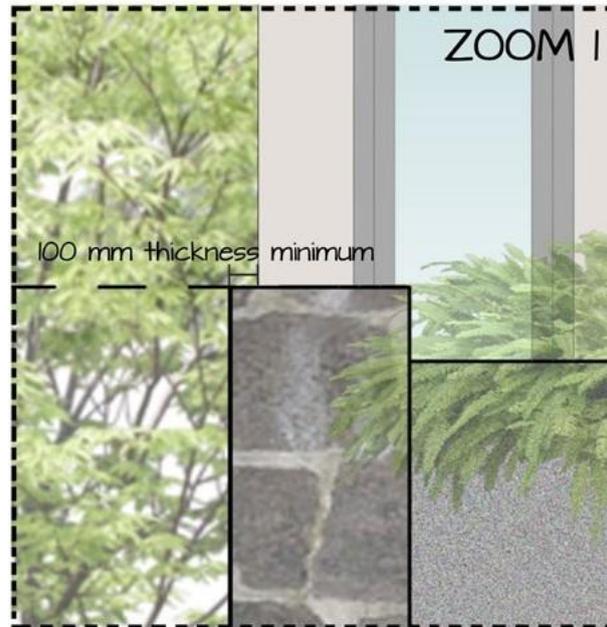
7.4. Balustrades:

Balustrades can be in timber, painted metal (black, anthracite grey or white), in glass, or in a combination of all these materials. Their design must respect the safety guidelines (minimum 1m).

8. Walls

8.1. Proportions :

- Every facade with a continuous wall higher than 4m will have to be treated with different authorised finishes of a minimum of 100mm of thickness. (Annex D and Zoom 1). This wall covering will have to be of adequate height so that the visible painted part of the wall is not higher than 4m.



- As a facade, the length of a continuous wall can reach a maximum of 16m.

8.2. Materials:

- External masonry walls must have a thickness of 200mm with at least one 15mm coat of smooth render finish, or of “Tyrolean” render finish.
- On facades exposed to the sun, materials with insulating properties are strongly encouraged to be used (“Ecoblock” type, insulated coating...)

8.3. Authorised facades:

Walls can be rendered and painted or with a “Cemcrete, Earthcote” type finish similar to the authorised colours and submitted to the Administrator for approval.

- Authorised colours:



- Paint colour for the facades:

No more than two tints of colours can be used on each property.

The colours must adhere to the references listed above. The Natural Code System (NCS) will be used as reference.

An area not exceeding 30% of the walls elevation can be in “concrete off-shutter” type finish, however its finish must be of high quality and submitted to the approval of the Administrator. The latter, after inspection of the wall finish, may impose the application of a concrete finish coating (should the quality not be acceptable).

- Timber cladding: naturally-stained, saturated, varnished or painted according to the authorised colours.
- Fibre cement with a wooden-feel, painted according to the authorised colours.
- Natural stones: wall with blue stones with a white joint seal or a dry-stone wall with capped ends - 3 ends per square meter.



or



- Concrete screen blocks: painted according to the authorised colours for technical and service rooms only. The specifications are to be submitted to the Administrator for approval.



- Retaining walls or walls used as a pedestal to buildings have to be built according to the following guidelines:

- Blue stones with a white joint seal
- Dry-stone wall with capped ends (“bouchons” type) - 3 ends per square meter
- In concrete clad with the above-named stones
- Landscaped boulders

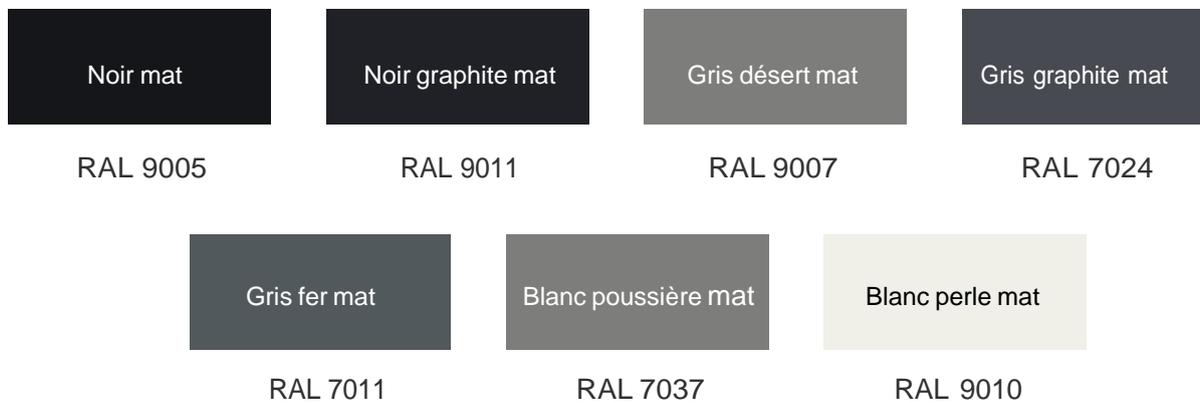
Please note: Retaining walls cannot exceed a height of 1.5m.



9. Openings

9.1. Windows and doors (excluding main doors):

- Openings (windows, doors...), fixed or openable, must be rectangular-shaped using 90° angles.
- Glazed windows and doors must be framed in aluminium or metal of the following colours:



Or in natural solid timber.

Authorised:

- Natural solid timber
- Powder coated aluminium, mat and textured
- Metal painted mat
- Clear glass
- Plain frosted glass
- Solar control glazing

Unauthorised:

- Round or flat arched windows
- Decorative moulding
- Stained glass
- Reflective glass
- Tinted or coloured glass

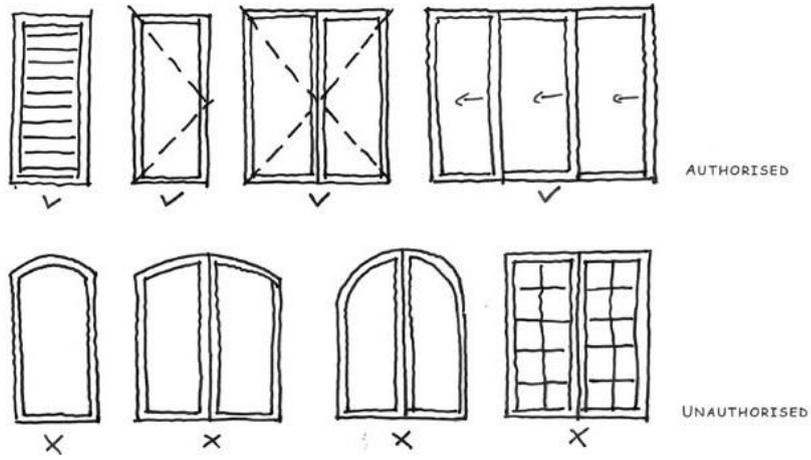
- Furthermore, the application of any film to the glass shall be subject to the prior approval of the Administrator.

General rule: Openings' lintels on the same façade must be aligned to one another except in specific cases (change in level, kitchens, staircases...).

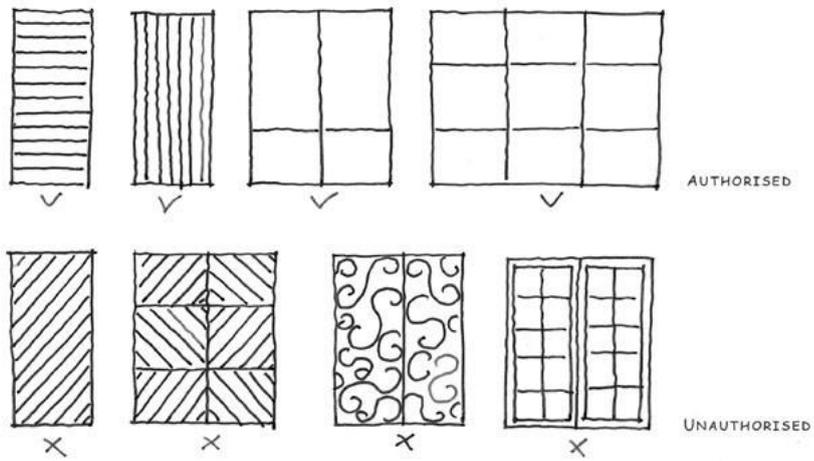
Openings in the façades must be at least 2.4m high.

No opening is authorised on sloping roofs except skylights or roof windows set in the plane of the roof, and they must be rectangular-shaped with 90° angles.

Skylights are authorised on flat slab roofs and with a height that cannot exceed 500mm.



Sketch 10: Openings shapes

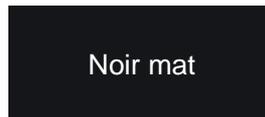


Sketch 11: Openings finishes

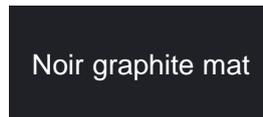
9.2. Entrance doors:

- Authorised finishes of doors:

- Natural solid timber
- Powder coated aluminium, as per colours authorised at clause 9.2
- Natural bamboo
- Galvanized metal, colours:



RAL 9005



RAL 9011



RAL 9010

- Corten steel

- Unauthorised:

- Ornamental doors
- Doors with flat or round arches

9.3. Garage doors:

- Garage doors are not authorised on the boundary of the property. (Closed garages must be located within the building lines).

- Authorised finishes of doors:

- Powder coated aluminium textured and mat, or metal painted mat, as per colours authorised at clause 9.1
- Natural solid timber
- Corten steel
- For roller shutters, the design and type will have to be submitted to the Administrator for approval (all mechanisms and boxes will have to be concealed and cannot be visible on the outside)

- Unauthorised:

- Ornamental doors
- Arched doors



9.4. External shutters:

Authorised finishes for shutters:

- Powder coated aluminium, as per colours authorised at clause 9.1
- Natural solid timber
- Natural bamboo
- Galvanized metal, colours as per colours authorised at clause 9.2
- Corten steel

Authorised:

- Horizontal boarding
- Horizontal louvers
- Vertical boarding

Unauthorised:

- Curved shutters
- Excessively large and obvious sliding tracks or pelmets
- Roller shutters are not authorised, except in the case of garages

9.5. External blinds:

- Vertical blinds:

Rattan blinds with a natural or a white mat finish, transparent plastic storm blinds and PVC canvas blinds are authorised. The authorised colours are white, beige and grey. The other types of blinds must be submitted to the Administrator for approval.

- Horizontal blinds:

External horizontal blinds are not authorised unless pre-approved by the Administrator.

- Tensile fabric shades:

White, beige or grey tensile fabric shades are authorised. The design and the size must be submitted to the Administrator for approval.

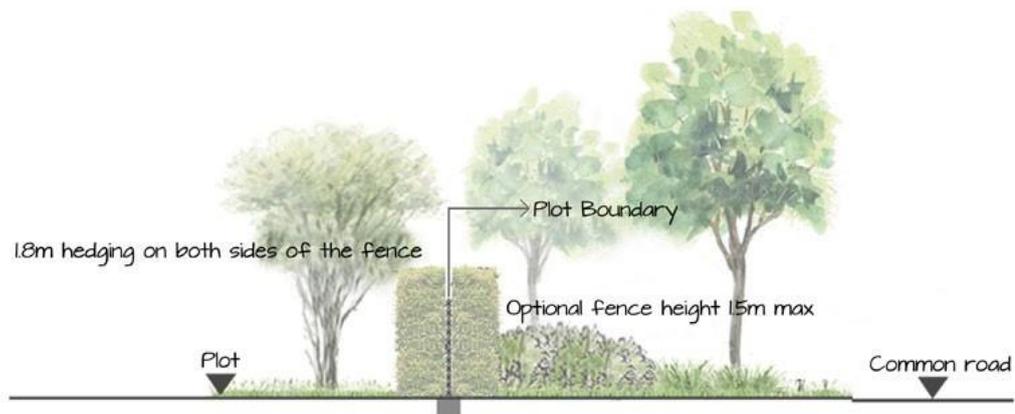


10. Boundary fences

10.1. The fences along the roads (Annexes G and H):

The boundary treatment along the roads shall consist of hedges and bedding plants; and may include a fence of “betafence” type of anthracite grey colour and not exceeding 1.5m in height.

- This optional fence must, eventually, disappear in the vegetation.
- This fence must be fixed on a buried concrete base.
- No wall, apart from the one of the pedestrian gate (see Annex F) and of the bin area enclosure (see Annex E) will be authorised on the boundary of the property. Exception: refer to clauses 10.6 and 10.7



Authorised plants for the hedges:

- *Carmona microphylla*
- *Murraya* sp (“Buis”)
- *Breynia disticha* (the “Bread-and-cheese” plant)

Recommended plants for the bedding plants:

- Hibiscus sp, Pseudoranthemum sp, Psiadia arguta & viscosa & other shrubs
- Palm trees
- Dodonea viscosa, Gastonia mauritianna, Cordia sebestana, Triplaris surinamensis and other trees with small root network may be planted next to the fence.

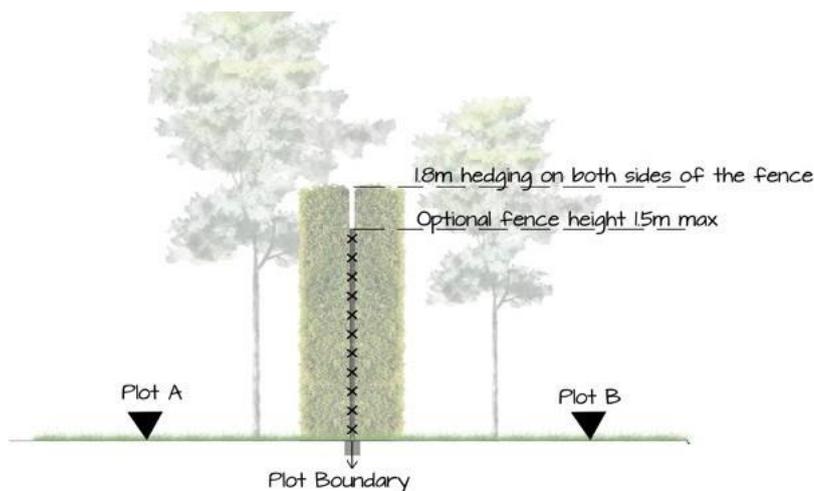
General remarks:

- Bigger trees with large canopies must be planted at 1.5m minimum from the fence.
- Native species from the low-land dry forest, palm-rich forest and coastal area of Mauritius are strongly recommended.
- Fruit trees, creepers, and non-invasive hardy exotic species that can withstand drought and salt air can be planted.

10.2. Fences between the plots (Annex H):

The boundary treatment between plots shall consist of hedges and bedding plants; and may include a fence of “betafence” type of anthracite grey colour and not exceeding 1.5m in height.

- This optional fence must, eventually, disappear in the vegetation.
- This fence must be fixed on a buried concrete base.
- No wall, apart from the one of the bin area enclosure or of the external sink will be authorised on the side boundary of the property.



Recommended plants for the hedges:

- Carmona microphylla
- Murraya hedge
- Hibiscus sp

Recommended plants for the bedding plants:

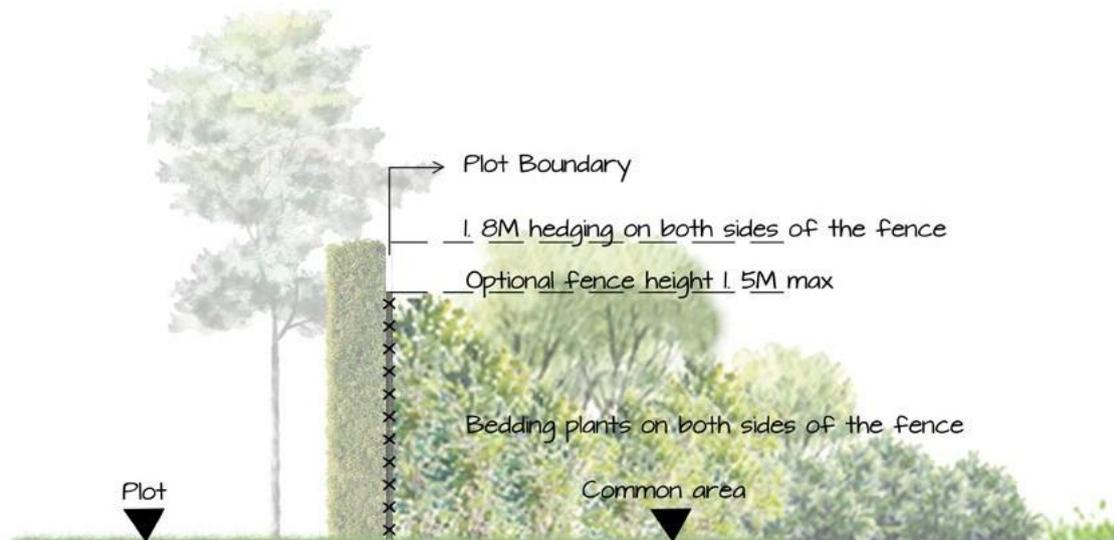
- Dypsis lutescens (Palmier multipliant)
- Creepers



10.3. Fences along the common spaces (except for the valley area) Annex I:

The boundary treatment along the common areas shall consist of hedges and bedding plants; and may include a fence of “betafence” type of anthracite grey colour and not exceeding 1.5m in height.

- This optional fence must, eventually, disappear in the vegetation.
- This fence must be fixed on a buried concrete base.
- A gate will be authorised, according to the specifics in Annex I.
- No wall, apart from the one of the eventual gate, will be authorised on the boundary of the property.



Recommended plants for the hedges:

- *Carmona microphylla*
- *Murraya* hedge
- *Breynia disticha*
- *Hibiscus* sp

Recommended plants for the bedding plants:

- Native species from the low-land dry forest, palm-rich forest, & coastal area
- Non-invasive and hardy exotic species that can withstand drought and salt air
- Fruit trees



10.4. Fences along the valley (Annex J):

The boundary treatment along the valley shall consist of bedding plants and may include a fence of “betafence” type of anthracite grey colour and not exceeding 0.9m in height.

- This optional fence must, eventually, disappear in the vegetation.
- This fence must be fixed on a buried concrete base.
- A gate will be authorised, according to the specifics in Annex J.
- No wall, apart from the one of the eventual gate, will be authorised on the boundary of the property.



Recommended plants for the hedges:

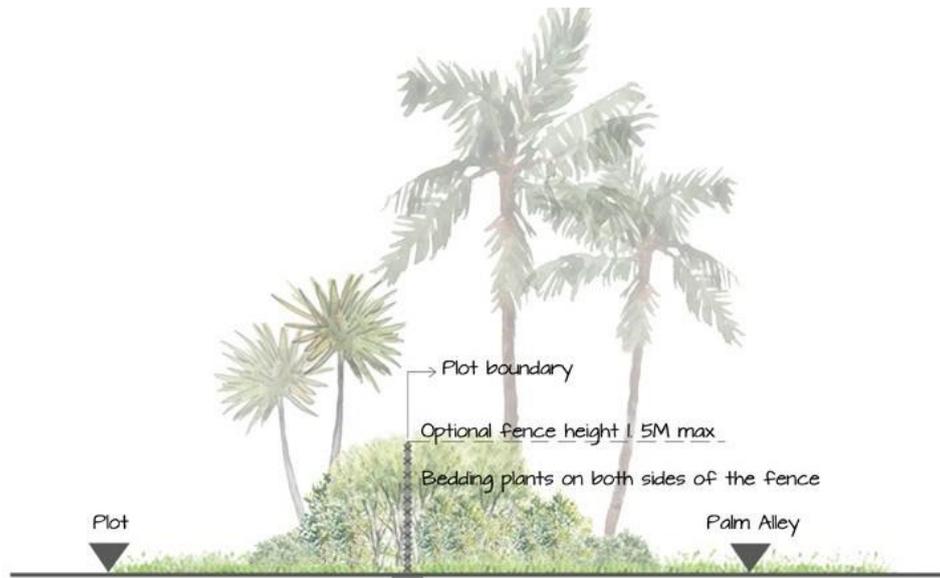
- Low-key planting (ground-covers and medium size shrubs) to screen the 900mm high fence, and some randomly placed trees and palms so as to create a natural landscape that can integrate itself with the greenery that separates the private gardens and the productive landscapes of the valley.

10.5. Fences along “Palm alley” (Annex K):

The boundary treatment along palm alley shall consist of bedding plants and may include a fence of “betafence” type of anthracite grey colour and not exceeding 1.5m in height.

- This optional fence must, eventually, disappear in the vegetation.
- This fence must be fixed on a buried concrete base.
- A gate will be authorised, according to the specifics in Annex K.
- No wall, apart from the one of the eventual gate, will be authorised on the boundary of the property.





Recommended plants for bedding plants:

- Native species from the low-land dry forest, palm-rich forest and coastal area of Mauritius
- Fruit trees
- Non-invasive and hardy exotic species that can withstand drought and salt air.

10.6. Fences along the “Anahita access road”:

- Will be executed by the promoter and may include a masonry wall with stone cladding on certain portions, in addition to the other types of fences authorised.

10.7. Fences along the “GRSE road”:

- Will be executed by the promoter and may include a masonry wall with stone cladding on certain portions, in addition to the other types of fences authorised.

10.8. Walls for the pedestrian gate in dry-stone or with a white joint seal must conform to the details annexed (Annex F).

10.9. The bin area enclosure (including the gates) must conform to the details annexed (Annex E).

10.10. The plot number, the letter box and the entrance lights will be regulated by the Administrator according to the plans in Annex F and each owner must adhere to them at his own expense.



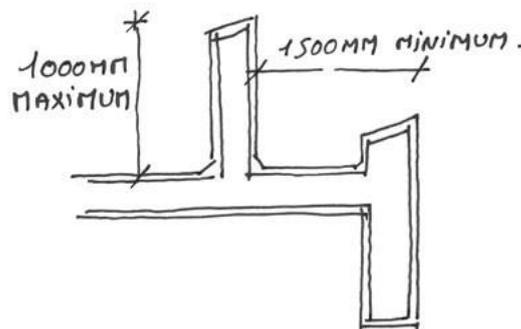
10.11. The entrance and the parking lot must conform to the details in Annex L, and if covered and situated on the boundary of the plot, must conform to the details in Annex M.

10.12. The bin area enclosure, the gates and the vehicle access must be built according to the location specified on the plot plan annexed to the deed of sale. However, if the owner would like to move the location of any of these items, an authorisation request must be submitted to the Administrator to verify its technical feasibility. The owner would make these changes at his own expense. These changes must conform to the details in Annexes E, F and L and the landscape must be rebuilt to the satisfaction of the Administrator.

11. Services

11.1. Ground rules:

- All equipment or mechanical installation installed on flat roofs must be concealed by a small parapet wall with a maximum height of 1000mm and positioned at a minimum of 1500mm from the facade wall.



Sketch 13: Technical area

- All equipment installed on the ground must be within the building lines. Visible equipment such as the compressor, heat pump, tank, pump, etc., must be concealed by a screen and/or by plants high enough to hide them.

11.2. Plumbing and water distribution system:

- All networks and installations shall not be visible and shall be covered by proper sheathing such as ducts and risers.
- Water tanks and/or solar water heater and other accessories shall not be visible from the streets, the common areas and the ground floor of surrounding plots.
- Rainwater drainage: only the gutters may be visible.
- Occupants of the plots may not obstruct, even temporarily, the pipelines or the drains of the common storm water network, nor deviate its flow.

11.3. Wastewater:

- Wastewater shall be treated through the installation of an individual sewerage treatment plant located on the plot.
- Wastewater from the kitchens must be collected in a grease trap before being discharged in the individual sewerage treatment plant, so as to retain the grease before the waste passes through the drainage system.
- Wastewater will be treated so as to meet the irrigation norms and will be used to water the garden.

11.4. Solar water heater, photovoltaic and energy-producing equipment

- Sustainable solutions are encouraged.
- Solar heaters, photovoltaic cells or energy-producing devices must be approved by the Administrator and the relevant authorities.
- No water tank will be authorised on roofs.

11.5. Electricity:

- Only underground individual connections to the network shall be allowed. Overhead lines shall not be permitted.
- The connection between the main distribution network and the building shall be underground in compliance with the standards required by the relevant authorities (Central Electricity Board).
- Connection to the network will be done at the expense of the owner of the lot.

11.6. Air conditioning:

- Window unit types shall not be allowed.
- Split unit air conditioning devices shall be installed in such a manner that the compressors shall not be visible from the roads, the common areas and the ground floor of surrounding plots.
- The compressors can be installed on ground floor level on the condition that they are installed within the building lines and concealed behind a screen and/or by plants that are high enough to hide them.
- Particular attention must be given to avoid noise nuisance for the neighbours caused by the equipment.



11.7. Telecommunication:

- The network and connections shall be underground.
- The network connection will be at the expense of the owner of the plot.

11.8. Television antenna (and more):

- Satellite dishes and TV antennas shall not be visible from the streets, the common areas and the ground floor of surrounding plots.

11.9. Laundry area:

- Clothes lines shall not be visible from the streets, the roads and the ground floor of surrounding plots.

11.10. Bin area enclosure:

- The bin area enclosures must conform to the details in Annex E. Special case: should there be a technical building in the road reserve adjacent to the bin area, the detail will be adapted accordingly as per details provided by the Administrator.
- The base structure to cater for the arrival of the electricity supply will be done by the promoter, which will then be incorporated in the bin area enclosure once built.
- Owners must respect the waste sorting procedures imposed by the Administrator.

11.11. Signage:

- The format of signage for house numbers shall follow the template provided by the Administrator and shall be located on the pedestrian gate wall.
- The installation of signposts, posters, billboards or other boards on the plots, buildings or common areas is forbidden. This does not apply to mandatory health and safety signage as required by law and to signage put up by the Administrator for the good functioning of the development.
- Special case: the installation of flyers indicating plots or houses for sale must be pre-approved by the Administrator.



11.12. External lighting:

- External garden lighting is to be mounted no higher than 1m above ground. Lights are to be oriented into the garden space and not directed in such a way as to disturb or cause light spillage to neighbouring properties.
- The lights on the pedestrian gate columns facing the street shall be connected on the street lighting network so as to provide homogenous lighting to the street, whether the villas are occupied or not. These lights will be energised from a connection point made available in the plot service hub.
- The Owner shall liaise with the Administrator to obtain the specification of lights (to be procured by the Owner at his cost) and during the construction works of the villa for the methodology of connection / installation of these lights.

11.13. Location of meters (electricity and water):

- The water network runs along the road reserve of the main road serving the plots. A connection pipe ended with a control valve will be provided by the promoter on the plot boundary. A smart water meter system will be implemented by the Administrator. The cost of installation and supply in respect of the water meter will be claimed to the owner upon installation. Billing in respect of the water consumption will be done monthly by the Administrator or its agent and payment of such claims shall be settled by the owner within a period of 30 days after the date of the claim, failing which the supply will be disconnected.
- Electricity is available at the closest distribution pillar located in the road reserve of the main road serving the plots. The owner will be responsible for his application to the Central Electricity Board (“CEB”) or any other relevant authority for an electricity meter. The location of the meter will be submitted to the Administrator for approval.

11.14. Electrical load restrictions:

- All plots will be supplied with a maximum load of 15KVA.

11.15. Water load restrictions:

- No potable water shall be used for irrigation.
- Rainwater harvesting solutions are encouraged.
- It is recommended to cover the swimming pools when they are not being used so as to avoid the evaporation of water.



12. Landscaping guidelines

12.1. Ground rules

A minimum of 25% of the plot must be landscaped with native species from the low-land dry forest and coastal area of Mauritius, fruit trees, and non-invasive and hardy exotic species that can withstand drought and salt air. For the lawn, the owner has the choice to pick between *Stenotaphrum dimidiatum*, *Cynodon dactylon*, *Paspalum*, or the *Melinis repens*.

12.2. Irrigation :

The owner shall irrigate his garden using the treated wastewater from the individual sewerage treatment plant, collected rainwater if available, as well as the irrigation network as provided by the promoter in the infrastructure pertaining to each plot. It is strictly forbidden to use potable water for the irrigation of the garden. The Owner shall respect the “water-window” for irrigation and only water his garden during such “water-window” time slot, which will be provided to the owner by the Administrator.

12.3. Implementation of the garden landscape:

The landscaping works must be completed, at the latest, 3 months following the date of completion of the villa on each plot.

If the landscaping works are not completed within the timeline mentioned above, it will be at the discretion of the Administrator to put the owner on notice to complete these works.

If the owner does not complete the said landscaping works within the timeline mentioned in the notice mentioned above, it will be at the discretion of the Administrator, if he considers it necessary, to complete the works in lieu of the owner and at the owner's expense.

12.4. Maintenance of the gardens:

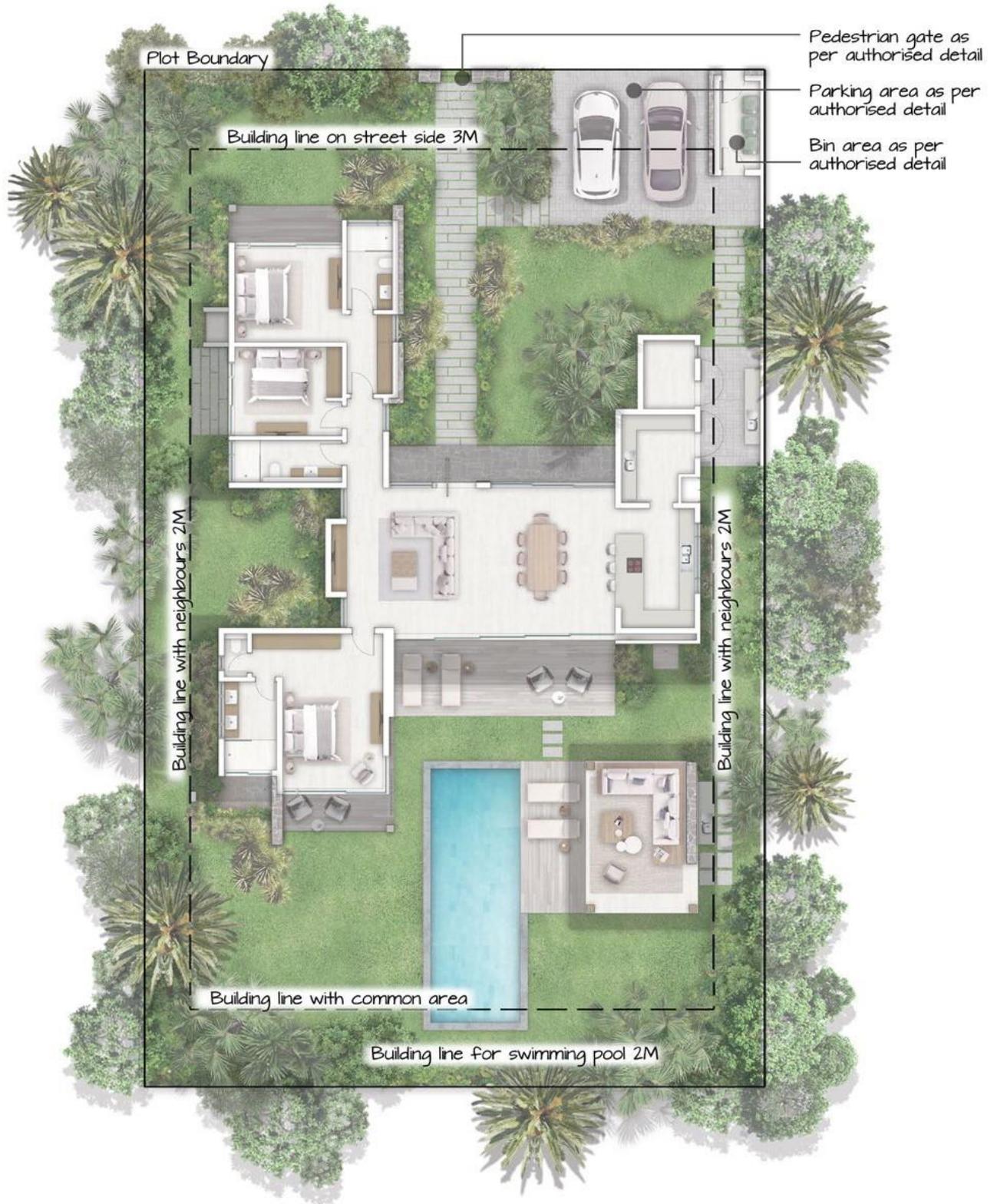
The gardens must be maintained as specified in the Cahier des Charges.

13. Termite control

The spraying of insecticides is not authorised. Any preventive treatment must be undertaken according to the “Kordon” termite treatment or the equivalent. Termite traps are authorised.

14. Construction performed according to approved plans

The procedure for approval of plans will be defined in the Cahier des Charges and/or its annexes.



ANNEX A'



 = Plot coverage 30% max
 +  = Impermeable areas 45% max

ANNEX B

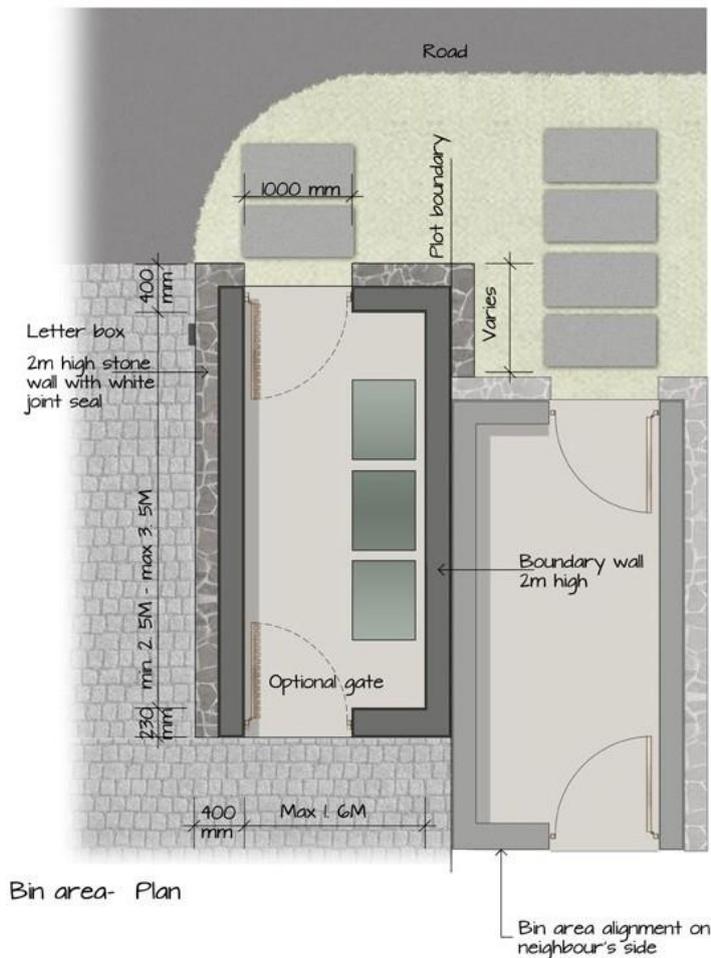


ELEVATION I

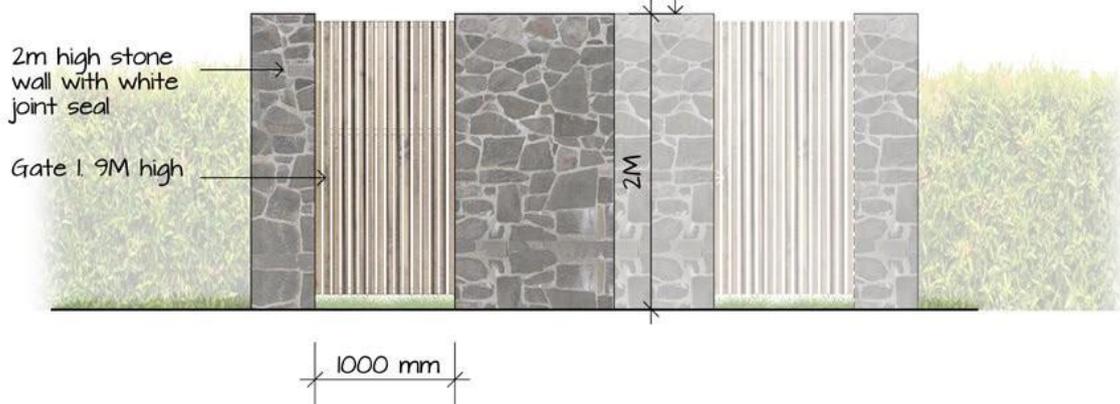
ANNEX C







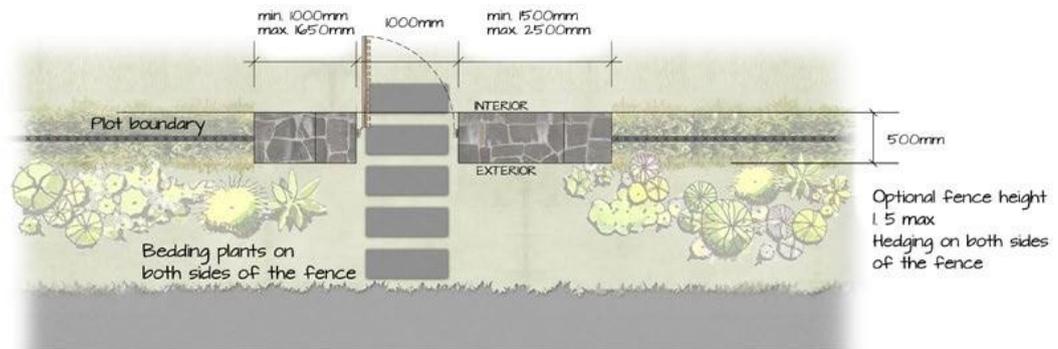
Bin area alignment on neighbour's side



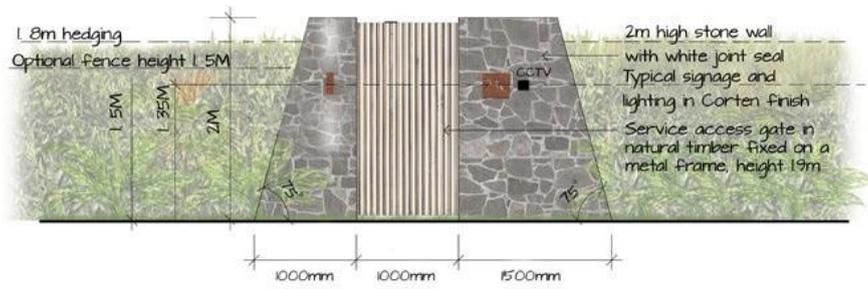
*The pedestrian gate must be in natural timber with vertical planks fixed on a metal frame of black colour. The frame must not be visible from the street.

Special case: should there be a technical building in the road reserve adjacent to the bin area, the detail will be adapted accordingly as per details provided by the Administrator.

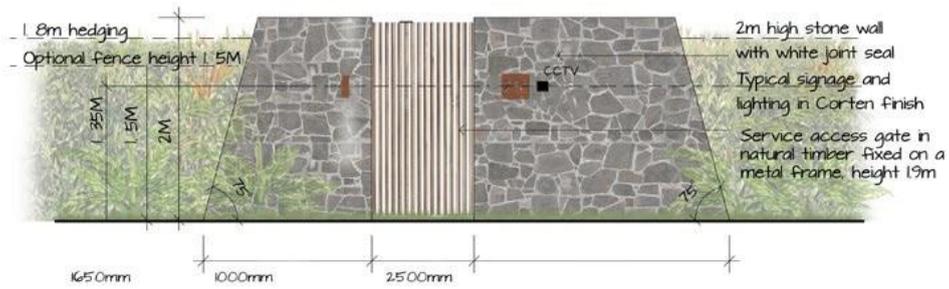
ANNEX F



Pedestrian gate plan



Pedestrian gate street side elevation - Minimum width

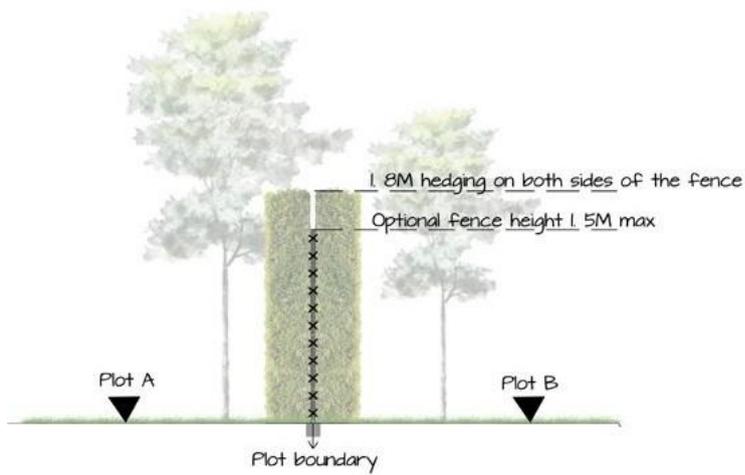
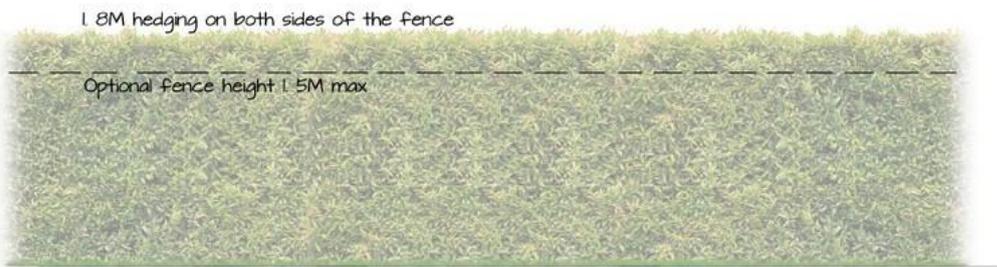
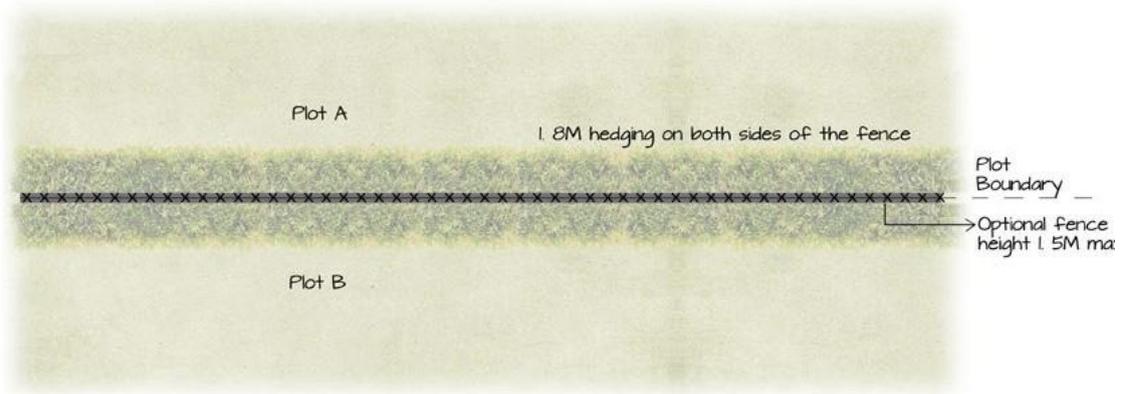


Pedestrian gate street side elevation - Maximum width



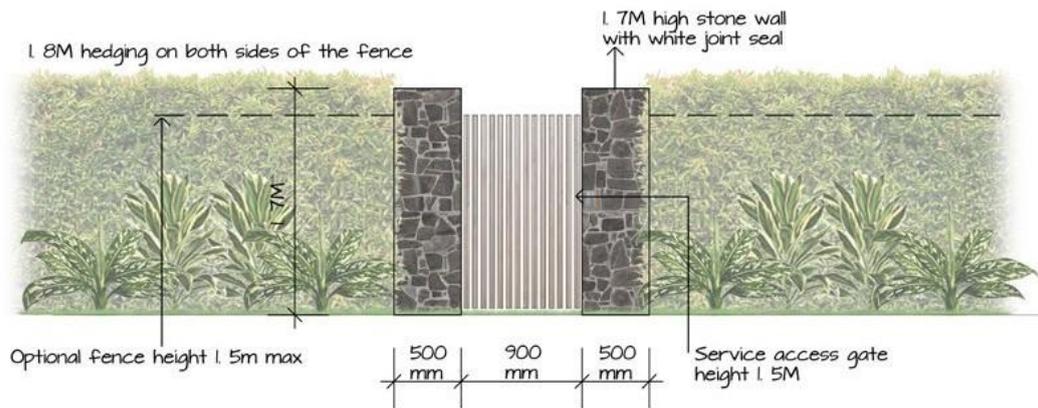
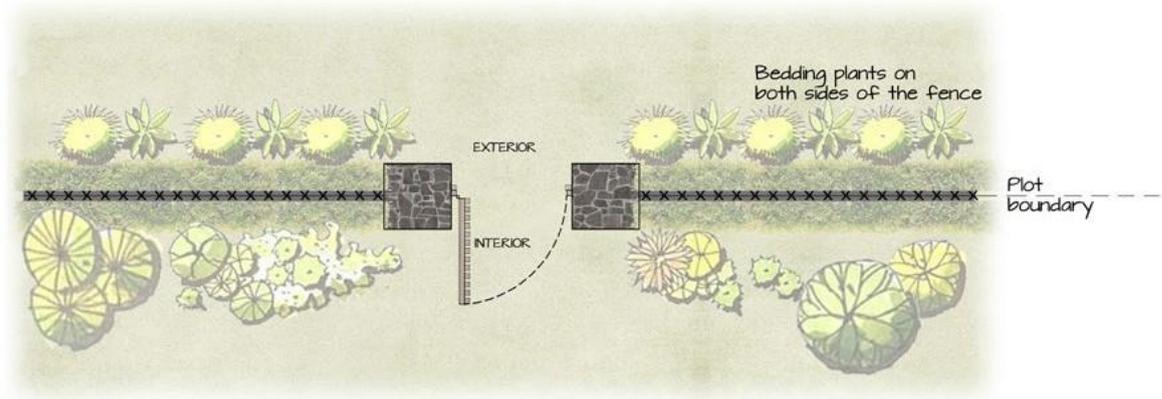
ELEVATION 2

Fences between plots

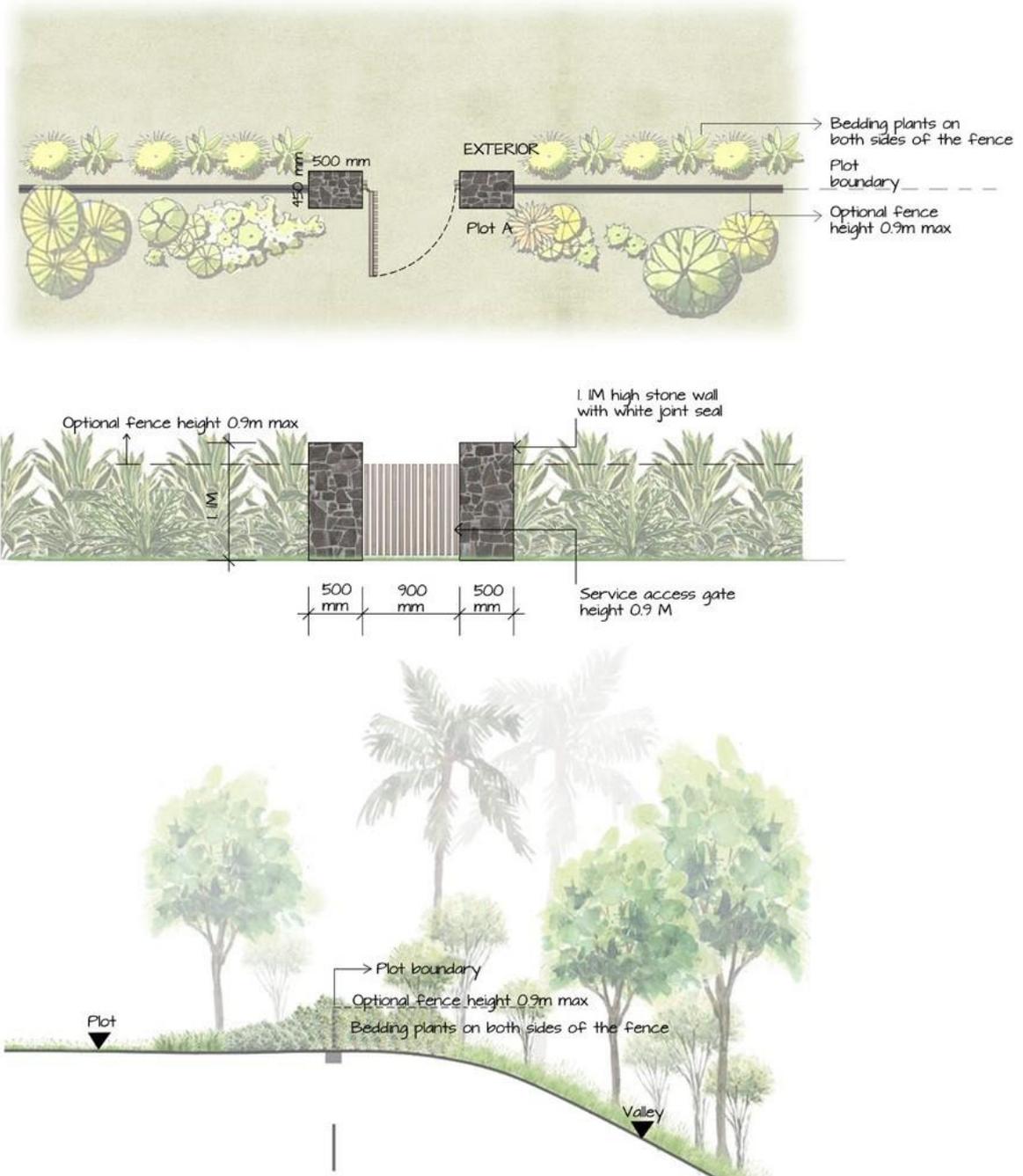


Fences between plots

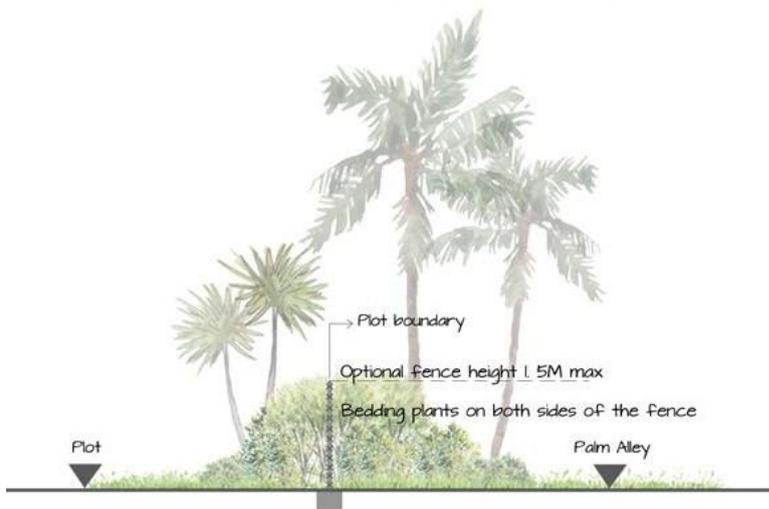
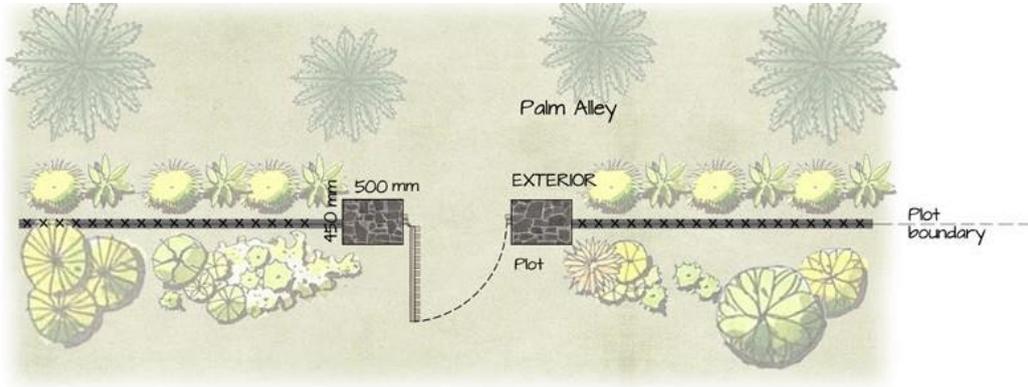
Fences along the common spaces (except for the valley area)

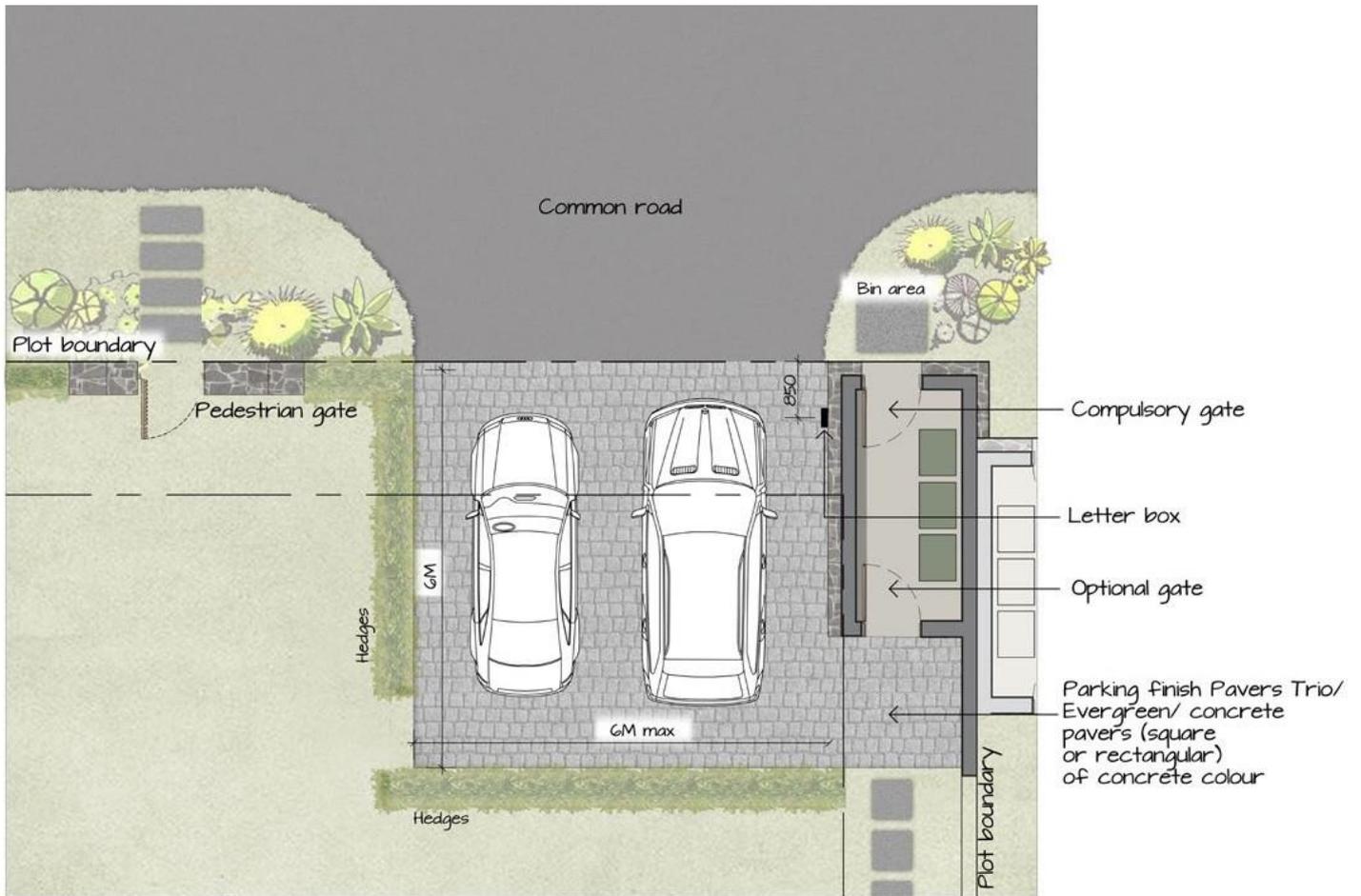


Fences along the valley



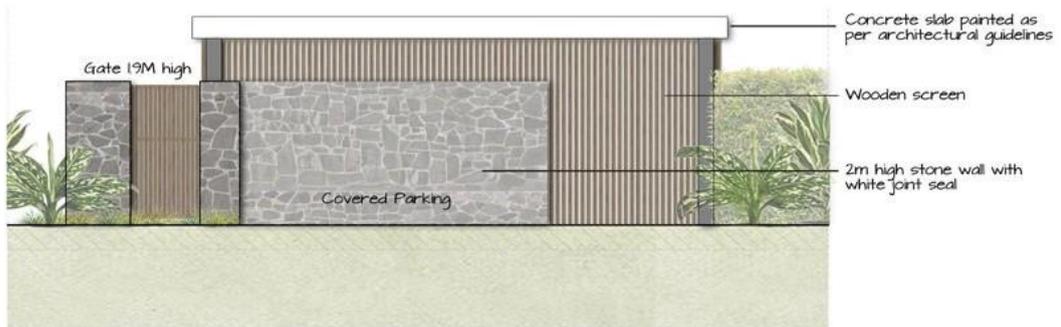
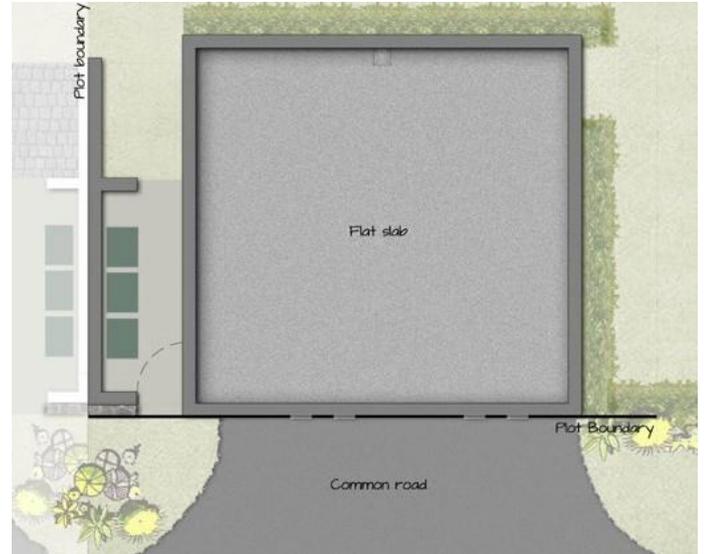
Fences along Palm Alley





Open parking

ANNEX M



Glossary

- 1. Parapets:** are the up-stand walls around flat slab roofs.
- 2. Awning:** small projecting roof to protect from the sun or rain.
- 3. Plot coverage:** is the footprint of all covered areas in square metres expressed as a percentage of the plot area in square metres.
- 4. Flat slab:** A horizontal concrete slab with a screed to enable the evacuation of rainwater.
- 5. Building lines:** the line off-set from the property boundary beyond which the owner cannot construct any solid timber or concrete structures. The off-sets are specific to each boundary whether side, street or common area facing.
- 6. Natural Ground Level:** the level of the plot prior to the commencement of construction works and as defined in the topographical survey annexed to the deed of sale.
- 7. Finished floor level:** the level on top of the applied internal floor finish (± 50 above the structural slab level).
- 8. Finished ground level:** final exterior ground level after construction works.
- 9. Fascia boards:** the horizontal boards under the eaves on the bottom edge of roofs.

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